



**PROJECT DESCRIPTION:**

250 GIBSON DR. IS A 6,797SF, GROUND UP PROJECT SITUATED IN AN ALREADY APPROVED DEVELOPMENT SITE (HIGHLAND VILLAGE) AND WILL BE A MIXED USED RETAIL/RESTAURANT WITH A MAXIMUM OF 3 TENANTS IN WHICH ONE IS RESTAURANT KURA SUSHI.

**SHEET/REVISION INDEX**

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- A-2 SITE PLAN
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- C1 TITLE SHEET
- C2 EXISTING CONDITIONS
- C3.1 GRADING, DRAINAGE, & PAVING PLAN
- C3.2 SITE CROSS SECTIONS
- C4 WATER & SANITARY SEWER PLAN

**FUTURE SUBMITTALS**

- FIRE CONTROL ROOM
- LIQUID CO2 SYSTEM (IF INSTALLED)
- FIRE SYSTEM PERMIT
- FIRE SPRINKLER AND FIRE ALARM SYSTEMS
- REQUIRED SUBMTTALS BY CERS

**PROJECT TEAM**

**OWNER**  
 TO VENTURE HOLDINGS, LLC  
 2027 PRADO VISTA VIS  
 LINCOLN, CA 95648  
 (916) 742-3001  
 Victor Tanon  
 victanon@gmail.com  
 Robb Osborne  
 rosborne@gallellire.com

**ARCHITECT**  
 JPLUS ARCHITECTS INC.  
 311 JUDAH STREET, SUITE 120  
 ROSEVILLE, CA 95678  
 (916) 588 - 9169  
 (916) 488 - 5982 FAX  
 Jeff Jennings, AIA  
 jeff@plusinc.com

**CIVIL ENGINEER**  
 RFE ENGINEERING, INC  
 2260 DOUGLAS BLVD, SUITE 160  
 ROSEVILLE, CA 95661  
 (916) 772 - 7800 OFFICE  
 (916) 772 - 7804 FAX

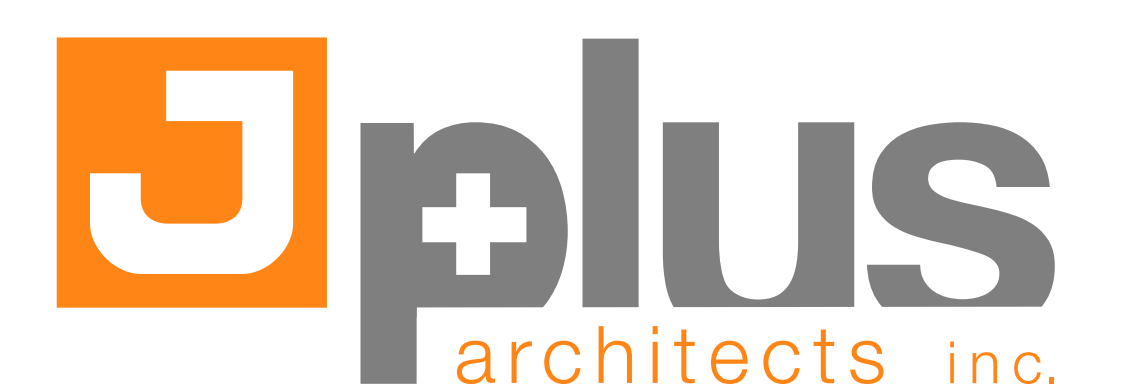
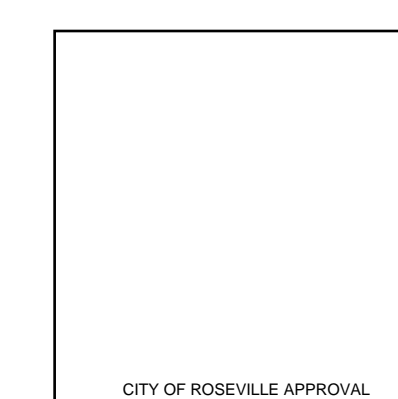
Bob Eynck  
 reynck@rfeengineering.com

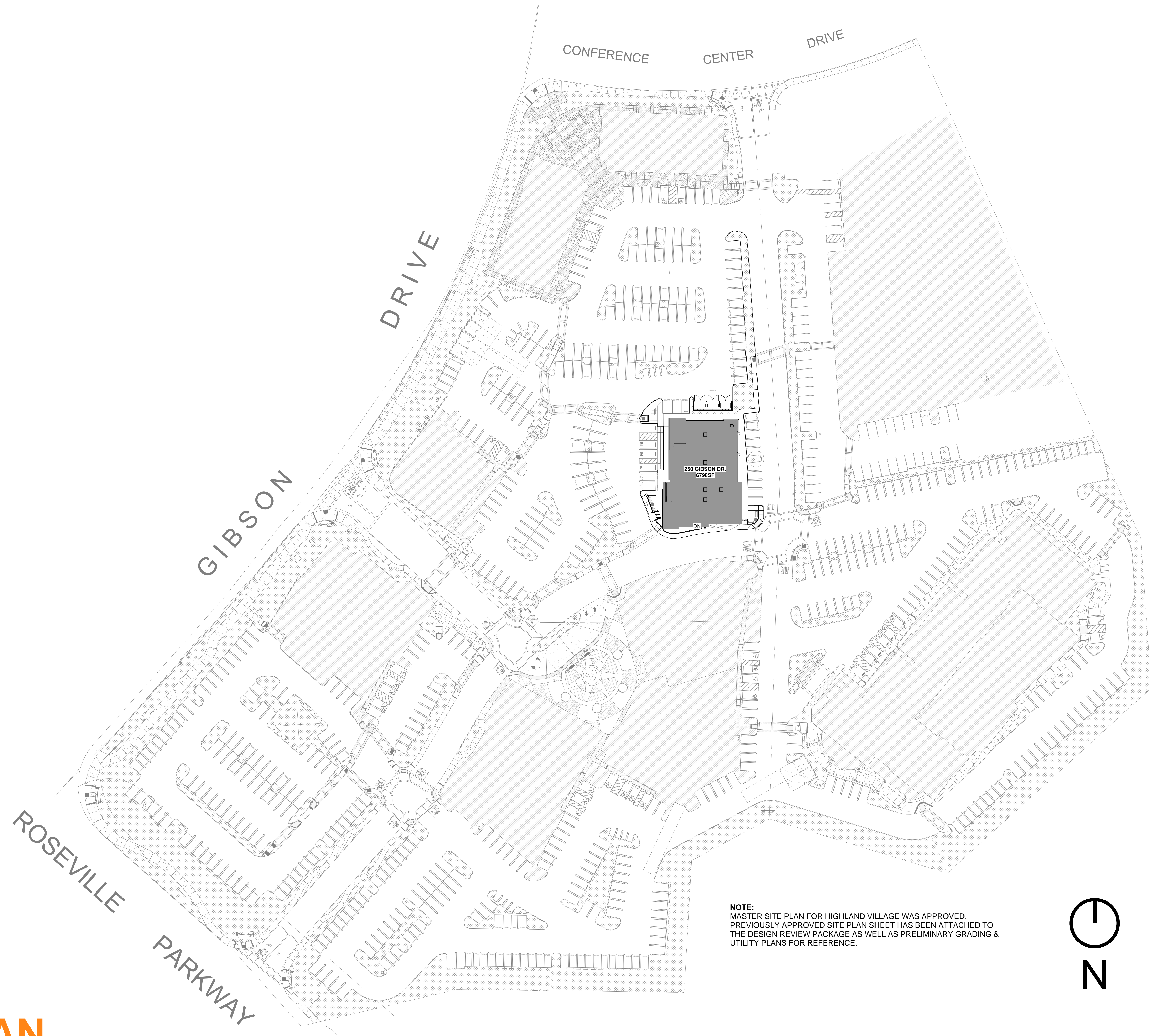
**COVER SHEET**

**A-1**

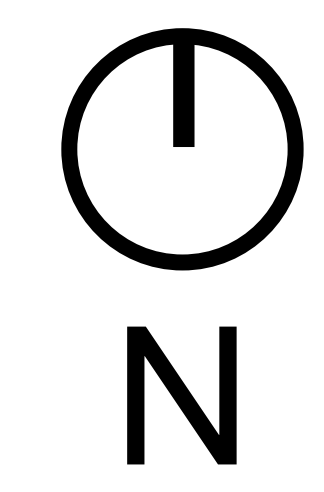
DATE: 8/15/2022  
 RESUBMITTAL: 12/21/2022  
 SCALE: NTS

250 GIBSON DR. - HIGHLAND VILLAGE ROSEVILLE CA, 95678  
 APN: 361-230-023-000





**NOTE:**  
 MASTER SITE PLAN FOR HIGHLAND VILLAGE WAS APPROVED.  
 PREVIOUSLY APPROVED SITE PLAN SHEET HAS BEEN ATTACHED TO  
 THE DESIGN REVIEW PACKAGE AS WELL AS PRELIMINARY GRADING &  
 UTILITY PLANS FOR REFERENCE.

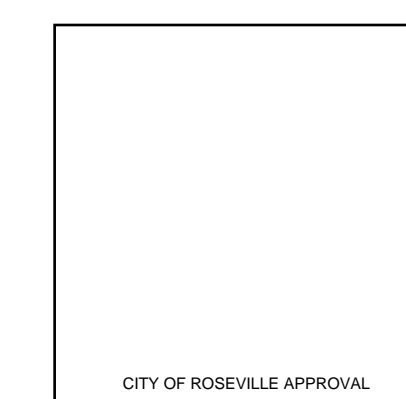


# SITE PLAN

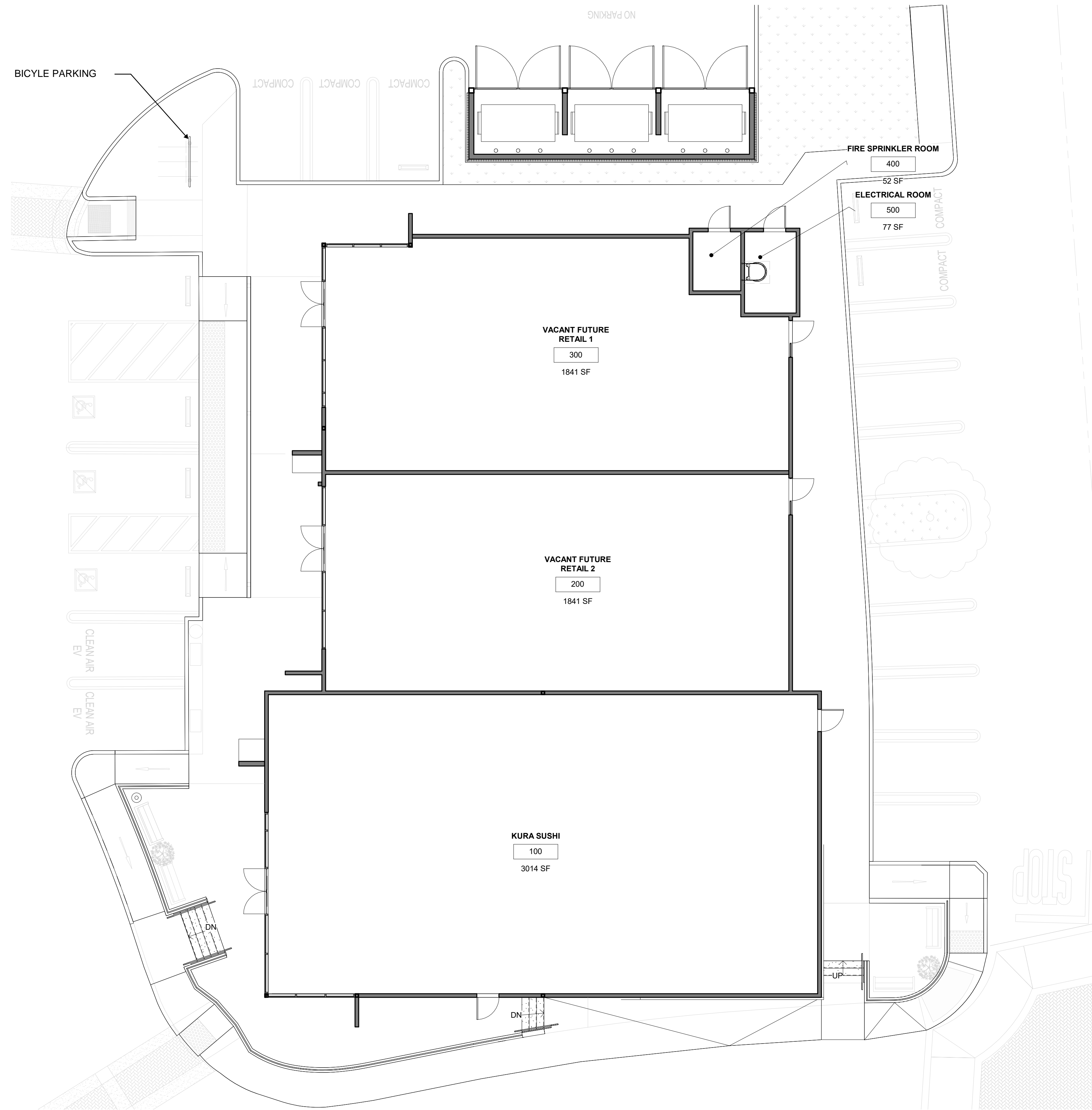
**A-2**

DATE: 8/15/2022  
 RESUBMITTAL: 12/21/2022  
 SCALE: 1/40" = 1'-0"

**250 GIBSON DR. - HIGHLAND VILLAGE ROSEVILLE CA, 95678**  
 APN: 361-230-023-000



AREA SUMMARY		
NUMBER	ROOM NAME	AREA
101	KURA SUSHI	3,014 SF
102	RETAIL 1	1,841 SF
103	RETAIL 2	1,841 SF
104	ELECTRICAL ROOM	60 SF
105	FIRE SPRINKLER ROOM	42 SF
GRAND TOTAL		6,798 SF

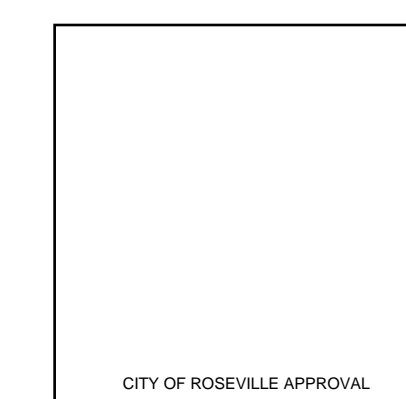


# NEW FLOOR PLAN - LEVEL 1

A-3

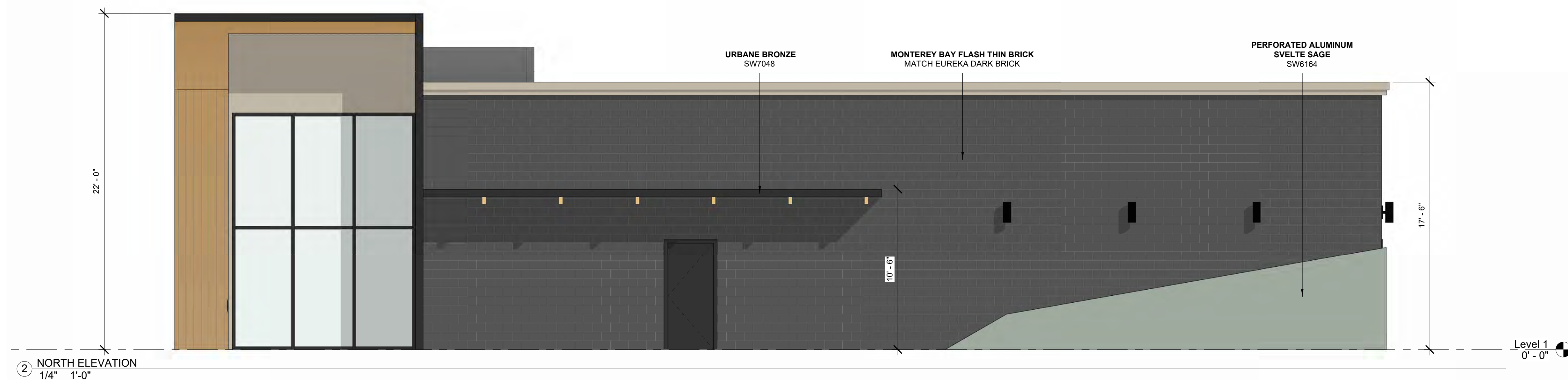
DATE: 8/15/2022  
 RESUBMITTAL: 12/21/2022  
 SCALE: 1/8" = 1'-0"

250 GIBSON DR. - HIGHLAND VILLAGE ROSEVILLE CA, 95678  
 APN: 361-230-023-000





① WEST ELEVATION  
1/4" = 1'-0"



② NORTH ELEVATION  
1/4" = 1'-0"

**MATERIAL GLOSSARY**

-  EIFS WALL ASSEMBLY  
COLOR: SW7026 - GRIFFIN
-  STUCCO  
COLOR: SW7051 - ANALYTICAL GRAY
-  METAL PANEL SYSTEM  
STANDING SEAM METAL PANEL ROOF SYSTEM  
MFR: AWIP  
COLOR: SW7048 - URBANE BRONZE
-  THIN BRICK VENEER  
BASIS-OF-DESIGN PRODUCT  
MFR: H.C. MUDDOX  
COLOR: SIERRA SLATE AND EBONY, BLEND
-  FIBER CEMENT PANEL SYSTEM  
MFR: NICHHA  
STYLE: VINTAGE WOOD  
COLOR: CEDAR EPC762F
-  PERFORATE METAL PANEL

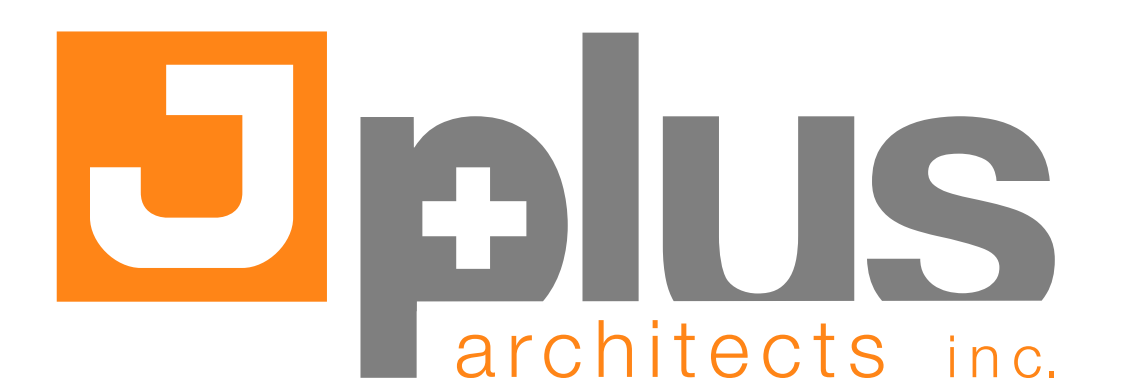
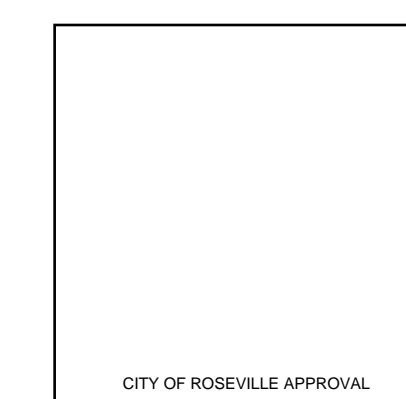
**NOTE:**  
ALL MATERIALS AND COLORS COMPLY WITH EXHIBIT E IN THE ARCHITECTURAL GUIDELINES FOR HIGHLAND VILLAGE.

# EXTERIOR ELEVATIONS

A-4

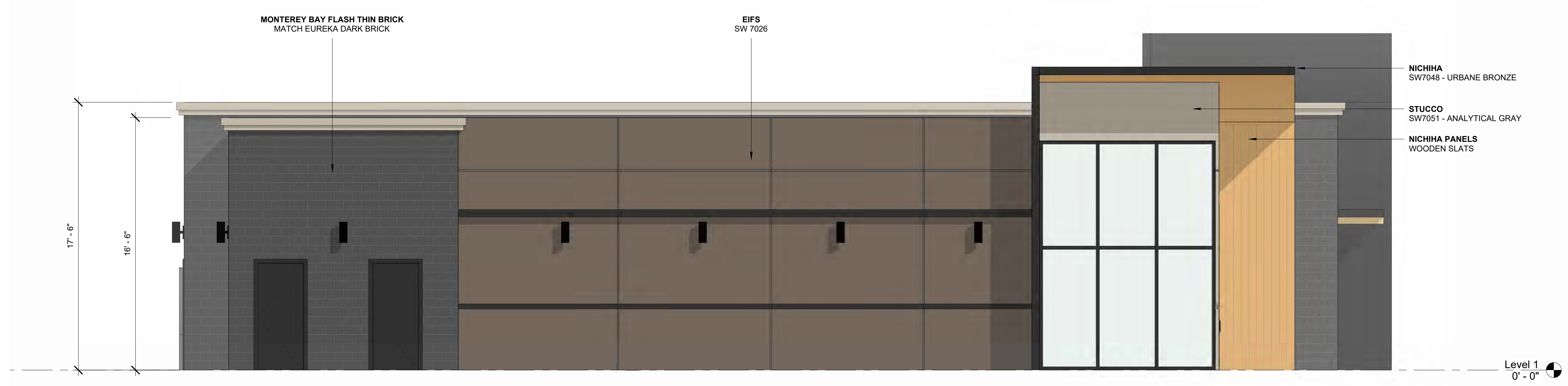
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RESUBMITTAL: 12/21/2022  
SCALE: 1/4" = 1'-0"

250 GIBSON DR. - HIGHLAND VILLAGE ROSEVILLE CA, 95678  
APN: 361-230-023-000





③ EAST ELEVATION  
1/4" = 1'-0"



④ SOUTH ELEVATION  
1/4" = 1'-0"

**MATERIAL GLOSSARY**

- EIFS WALL ASSEMBLY**  
COLOR: SW7026 - GRIFFIN
- STUCCO**  
COLOR: SW7051 - ANALYTICAL GRAY
- METAL PANEL SYSTEM**  
STANDING SEAM METAL PANEL ROOF SYSTEM  
MFR: AWIP  
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BASIS-OF-DESIGN PRODUCT  
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COLOR: CEDAR EPC762F
- PERFORATE METAL PANEL**

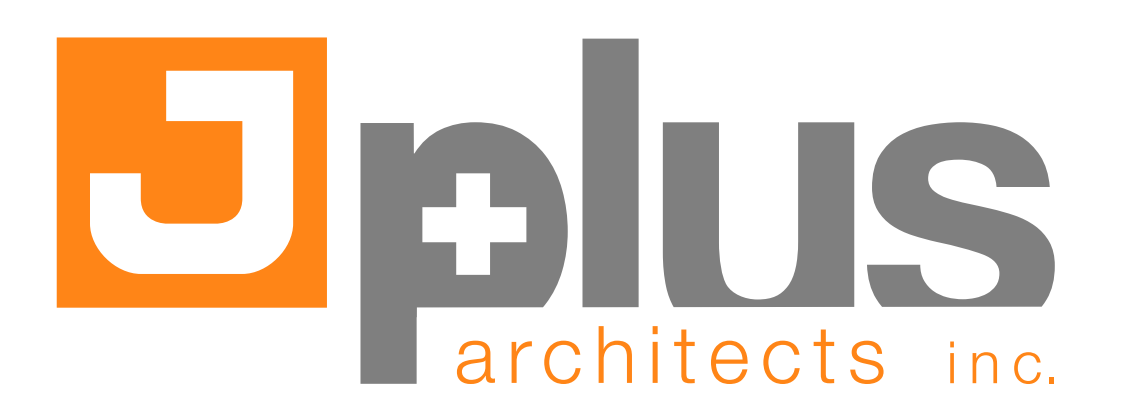
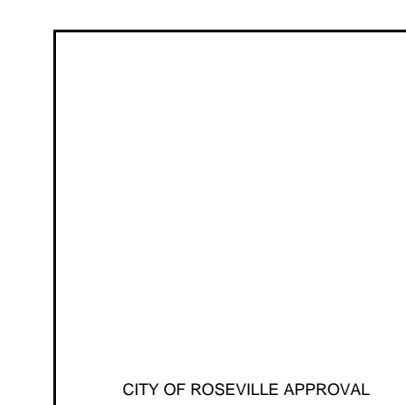
**NOTE:**  
ALL MATERIALS AND COLORS COMPLY WITH EXHIBIT E IN THE ARCHITECTURAL GUIDELINES FOR HIGHLAND VILLAGE.

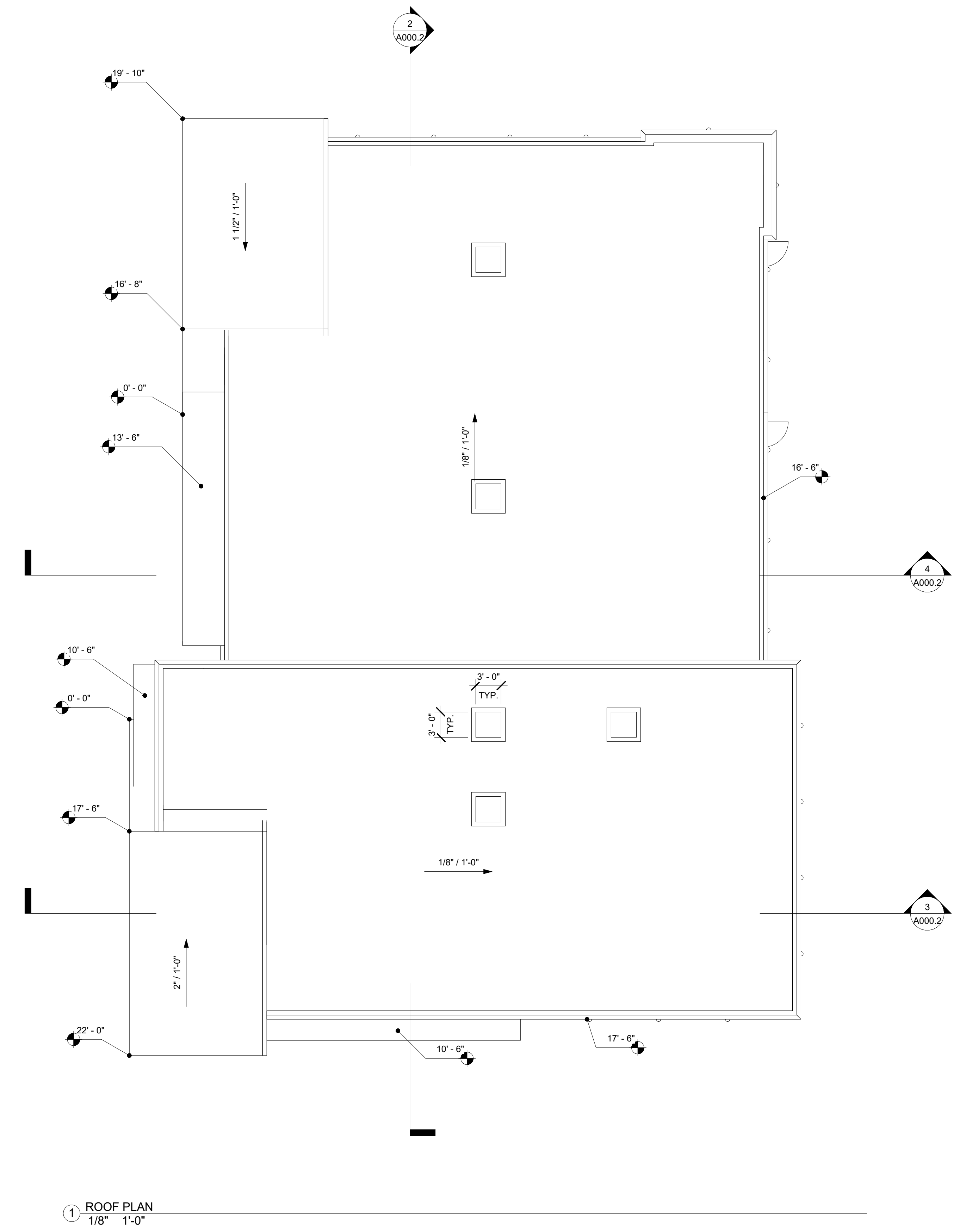
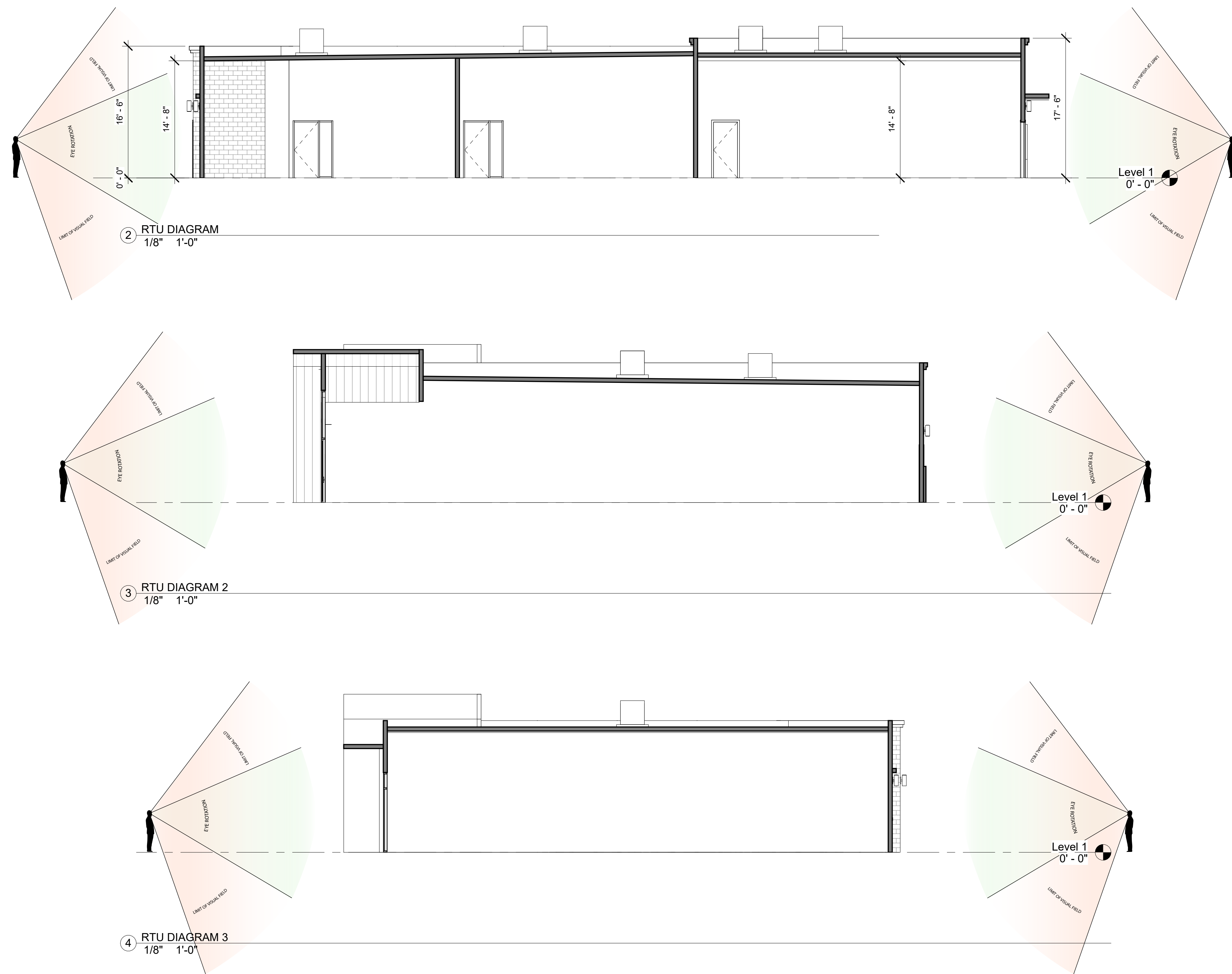
# EXTERIOR ELEVATIONS

A-5

DATE: 8/15/2022  
RESUBMITTAL: 12/21/2022  
SCALE: 1/4" = 1'-0"

250 GIBSON DR. - HIGHLAND VILLAGE ROSEVILLE CA, 95678  
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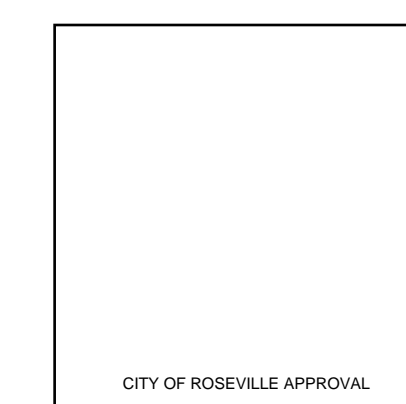


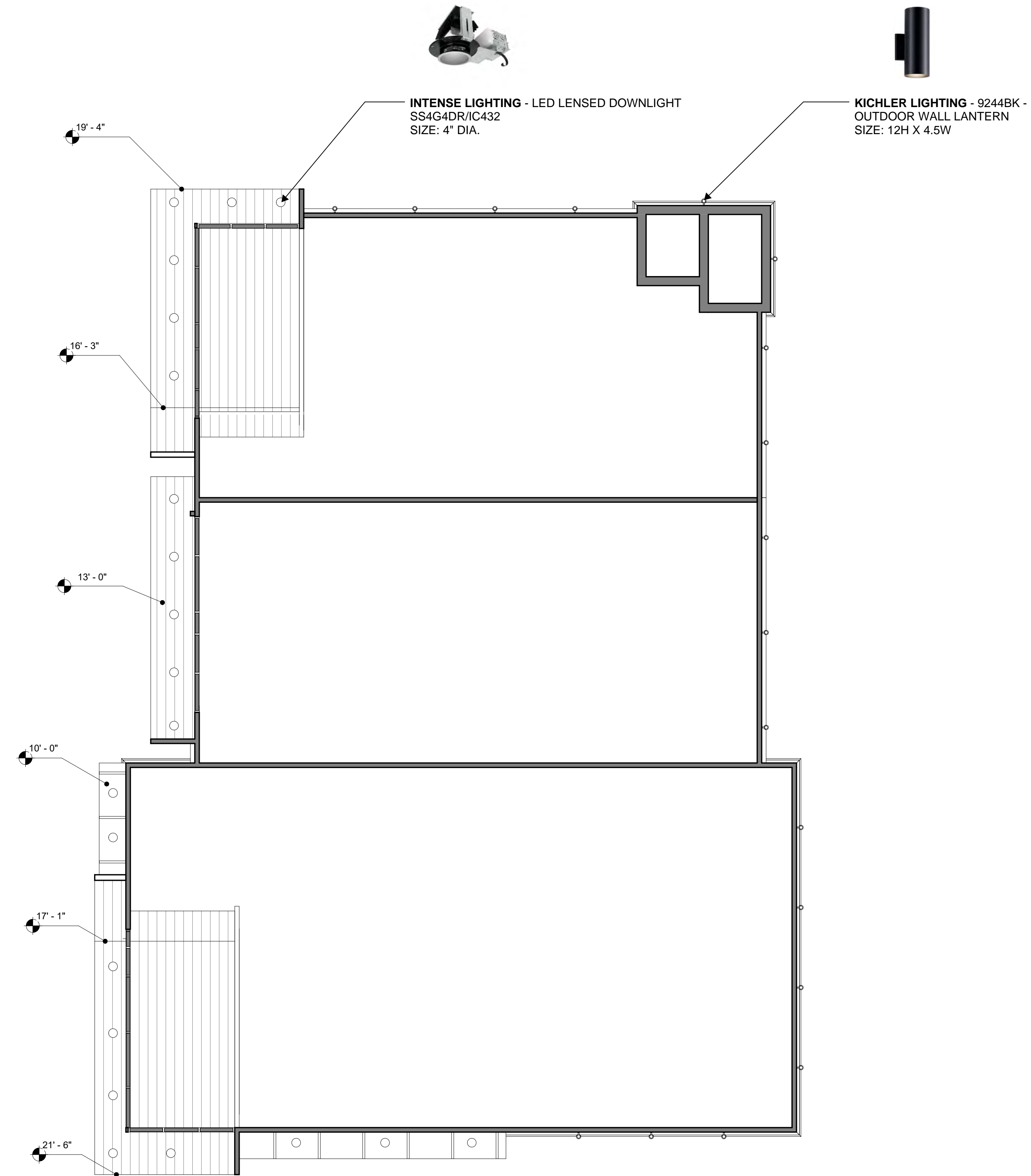
# ROOF PLAN

A-6

DATE: 8/15/2022  
 RESUBMITTAL: 12/21/2022  
 SCALE: 1/8" = 1'-0"

250 GIBSON DR. - HIGHLAND VILLAGE ROSEVILLE CA, 95678  
 APN: 361-230-023-000



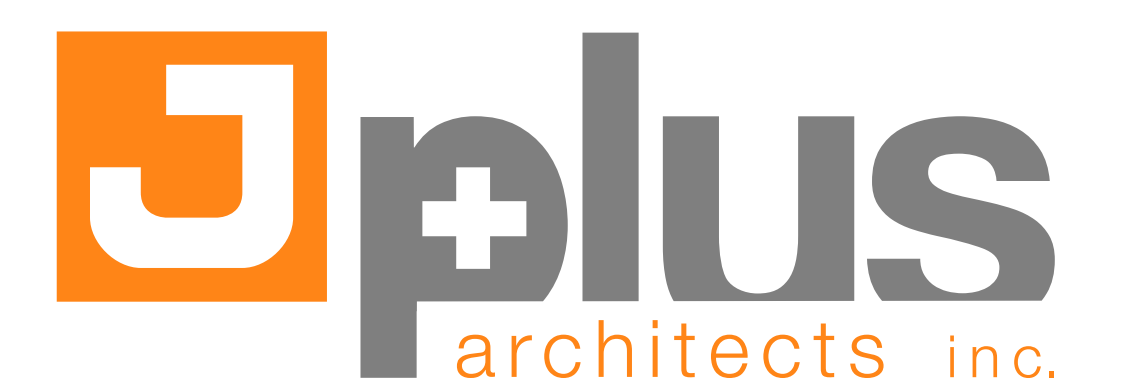
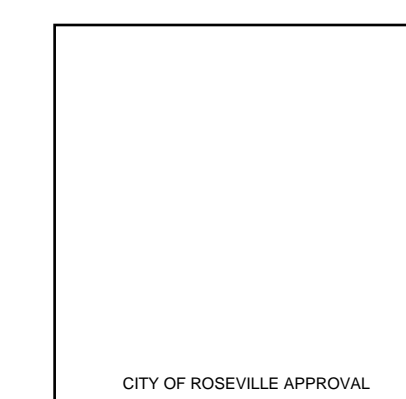


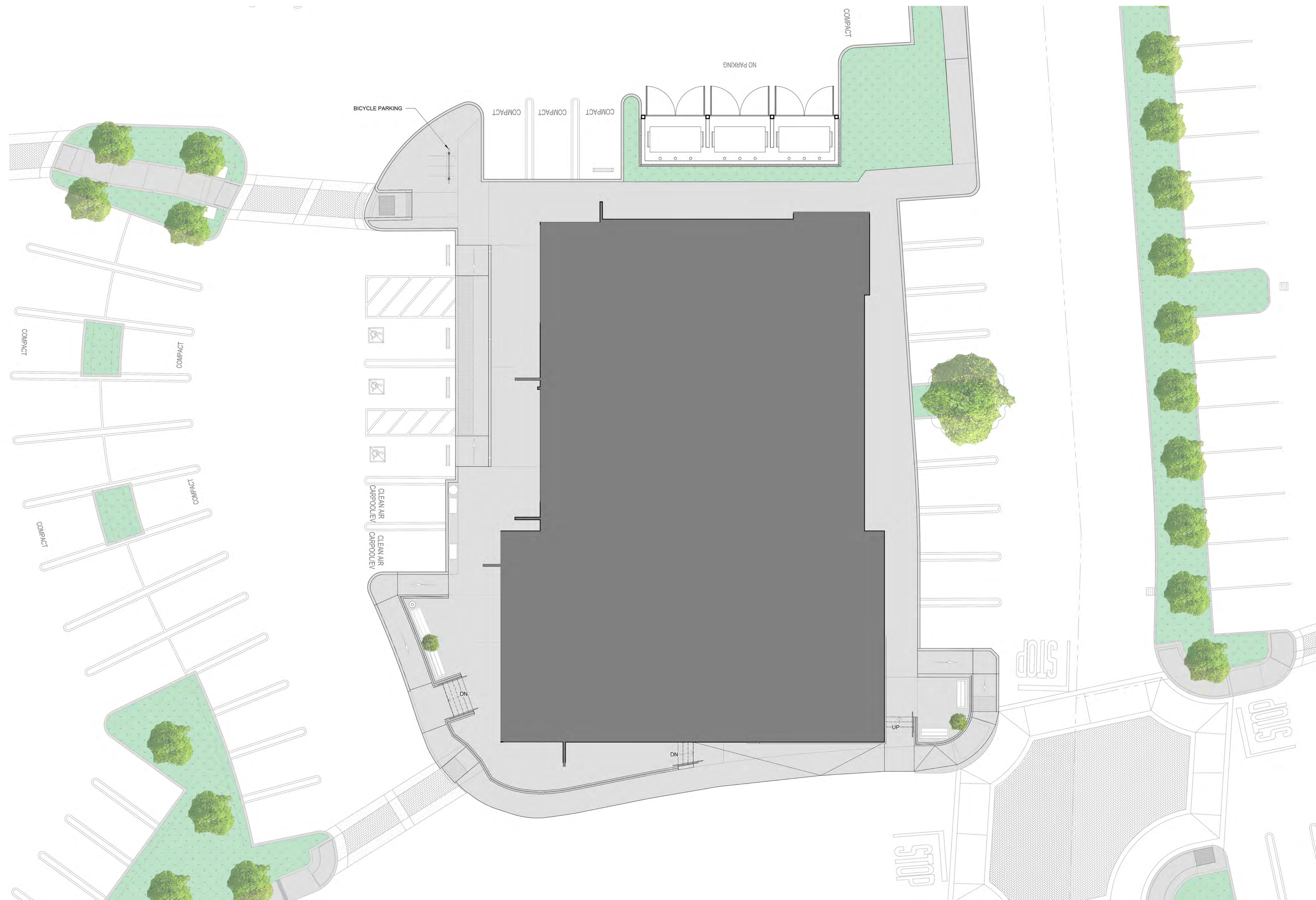
# LIGHTING PLAN

A-7

DATE: 8/15/2022  
RESUBMITTAL: 12/21/2022  
SCALE: 1/8" = 1'-0"

250 GIBSON DR. - HIGHLAND VILLAGE ROSEVILLE CA, 95678  
APN: 361-230-023-000



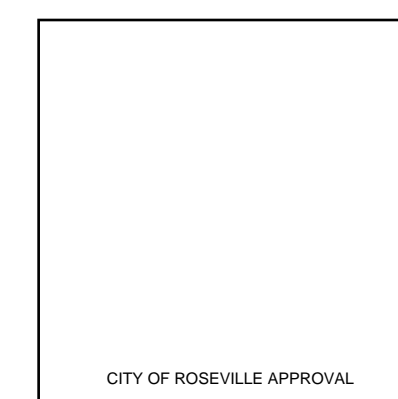


# LANDSCAPE PLAN

# A-8

DATE: 8/15/2022  
 RESUBMITTAL: 12/21/2022  
 SCALE: 1/8" = 1'-0"

250 GIBSON DR. - HIGHLAND VILLAGE ROSEVILLE CA, 95678  
 APN: 361-230-023-000



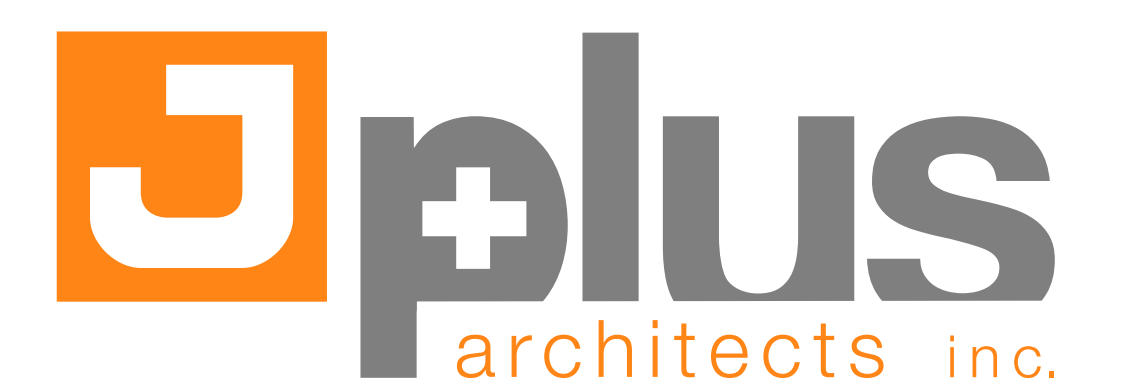
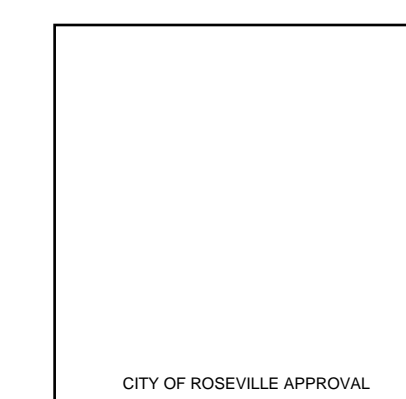


# EXTERIOR ELEVATION RENDERING

A-9

DATE: 8/15/2022  
RESUBMITTAL: 12/21/2022  
SCALE: NTS

250 GIBSON DR. - HIGHLAND VILLAGE ROSEVILLE CA, 95678  
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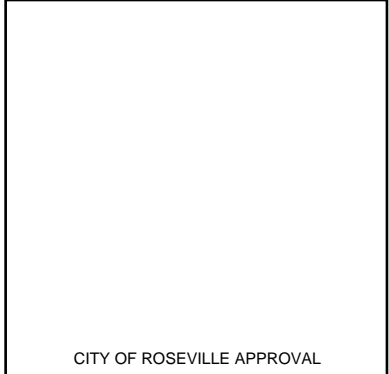


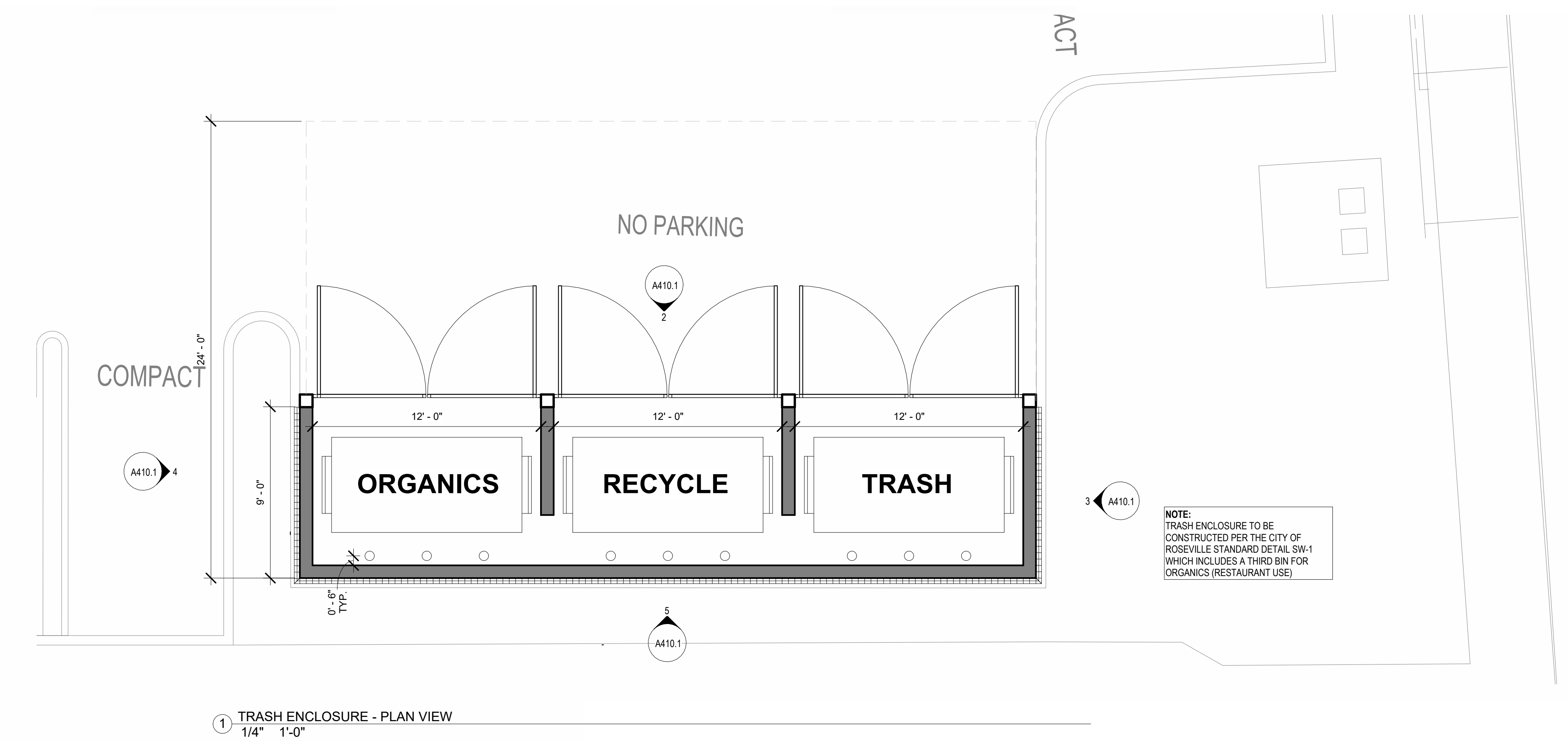
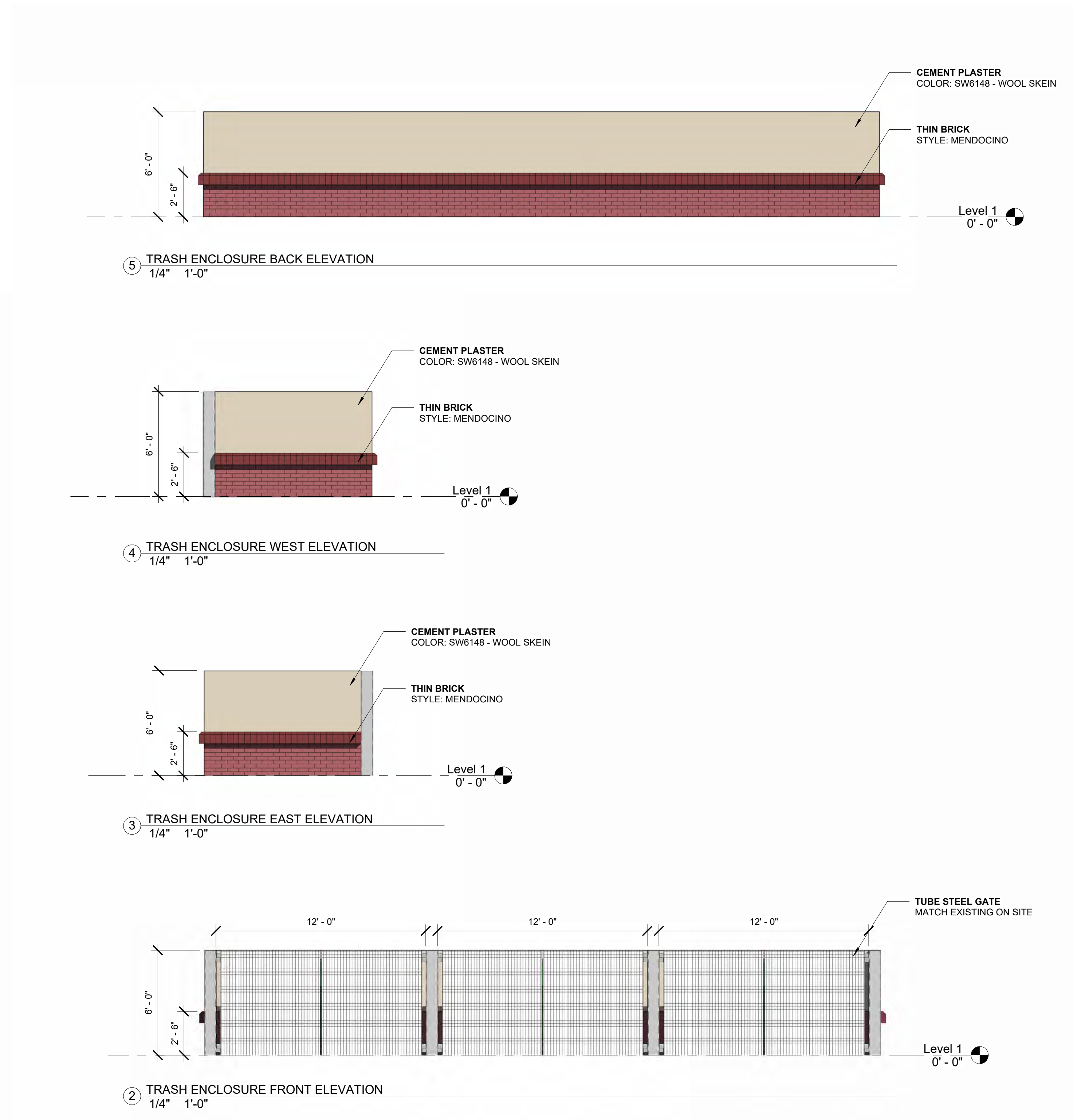
# EXTERIOR PERSPECTIVE RENDERING

A-10

DATE: 8/15/2022  
RESUBMITTAL: 12/21/2022  
SCALE: NTS

250 GIBSON DR. - HIGHLAND VILLAGE ROSEVILLE CA, 95678  
APN: 361-230-023-000



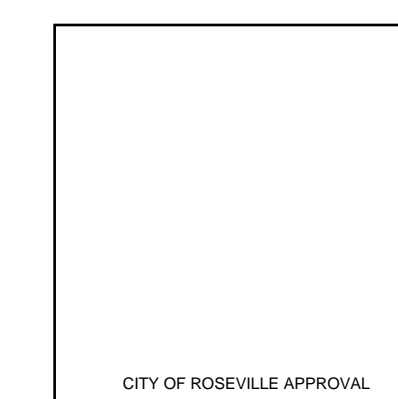


# TRASH ENCLOSURE

A-11

DATE: 8/15/2022  
 RESUBMITTAL: 12/21/2022  
 SCALE: 1/4" = 1'-0"

250 GIBSON DR. - HIGHLAND VILLAGE ROSEVILLE CA, 95678  
 APN: 361-230-023-000





**BRUSSELS BENCH**  
BY CANTERBURY INTERNATIONAL

SILVER  
POWDER COAT FINISH  
6'W  
1"X2" SLATS



**WILSHIRE PLANTER**  
BY QUICKCRETE

C1-NATURAL  
T1-SMOOTH



**Low Impact Development in a Small Footprint – Filterra®**

Filterra is an engineered high-performance bioretention system. While it operates similar to traditional bioretention, its high flow media allows for a reduction in footprint of up to 95% versus traditional bioretention practices. Filterra provides a Low Impact Development (LID) solution for tight, highly developed sites such as urban development projects, commercial parking lots, residential streets, and streetscapes. Its small footprint also reduces installation and life cycle costs versus traditional bioretention. Filterra can be configured in many different ways to enhance site aesthetics, integrate with other LID practices, or increase runoff reduction through infiltration below or downstream of the system.

*At the Manchester Stormwater Park seen above, the Filterra systems surrounding the central courtyard allowed for the creation of a community space with parking, sidewalks, and benches in a quaint downtown area. A traditional bioretention system treating the same drainage area would have occupied the entire park area leaving no room for these amenities.*

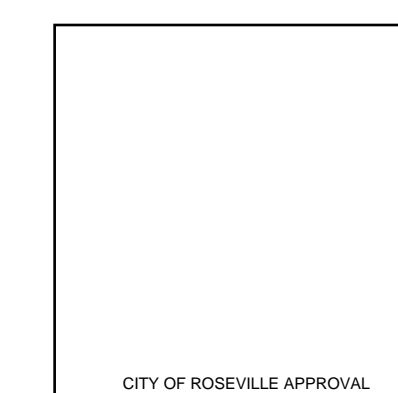


# SITE AMENITIES PRODUCT INFORMATION

A-12

DATE: 8/15/2022  
RESUBMITTAL: 12/21/2022  
SCALE: NTS

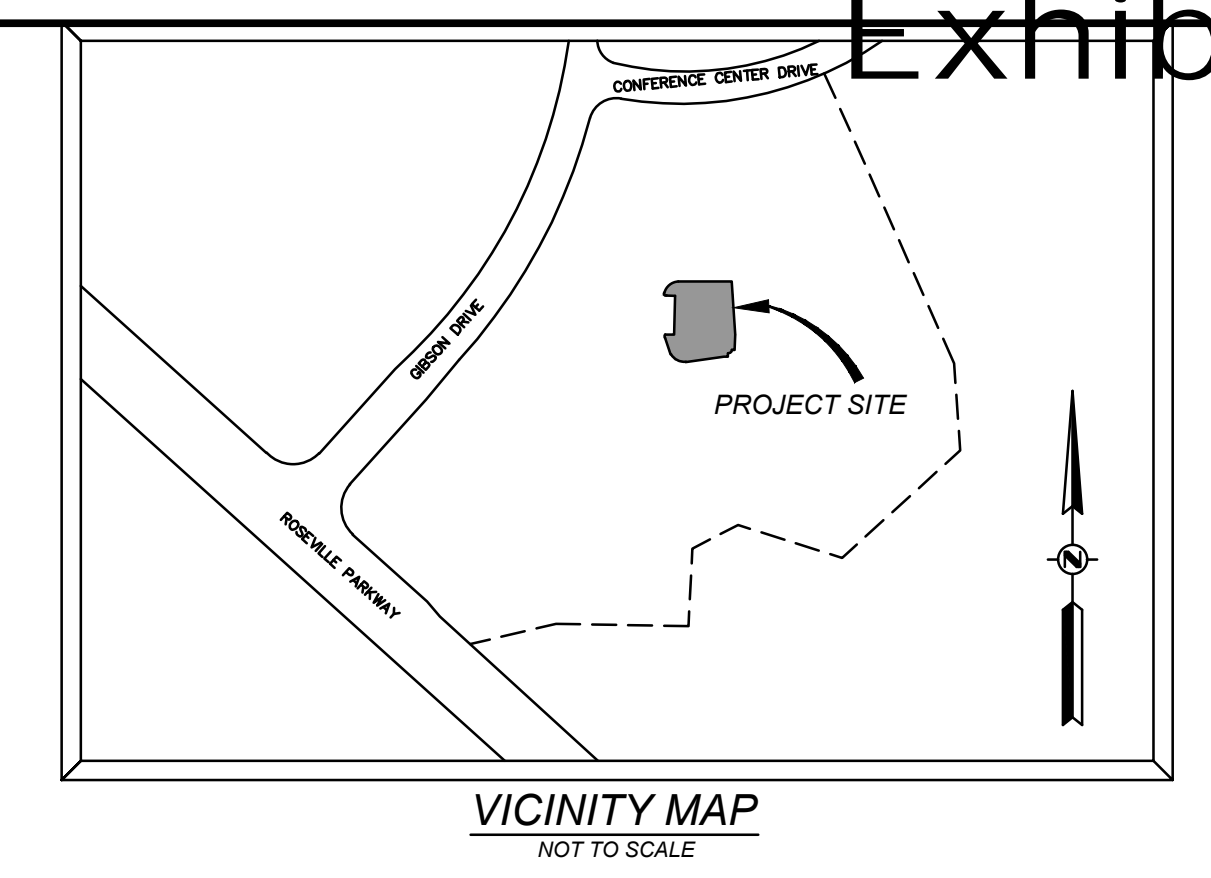
250 GIBSON DR. - HIGHLAND VILLAGE ROSEVILLE CA, 95678  
APN: 361-230-023-000



# HIGHLAND VILLAGE PAD 3

## PRELIMINARY IMPROVEMENT PLANS

250 GIBSON DRIVE  
ROSEVILLE, CA 95678  
APN: 361-230-023



### SHEET INDEX:

- C1 PRELIMINARY SITE PLAN
- C2 PRELIMINARY EXISTING CONDITIONS
- C3.1 PRELIMINARY GRADING, DRAINAGE, & PAVING PLAN
- C3.2 PRELIMINARY SITE CROSS SECTIONS
- C4 PRELIMINARY WATER & SANITARY SEWER PLAN

### TOPOGRAPHIC SURVEY:

CWE-RFE  
FIELD SURVEY DATED: AUGUST 31, 2022

### BASIS OF BEARINGS:

THE BASIS OF BEARINGS SHOWN HEREON IS THE EAST LINE OF PARCEL 10 AS SHOWN ON THE PARCEL MAP OF HIGHLAND VILLAGE, FILED FOR RECORD IN BOOK 34 OF PARCEL MAPS, AT PAGE 93, AND WAS ESTABLISHED FROM FOUND RECORD MONUMENTS.

### BENCHMARK:

THE BENCHMARK USED FOR THIS SURVEY WAS THE CITY OF ROSEVILLE BENCHMARK NO. 47, WHICH IS A 3" X 3" BRASS DISK STAMPED "2018 PLS 8278", SET IN THE TOP OF CURB ON THE WEST SIDE OF A D.I. ON THE SOUTH SIDE OF ROSEVILLE PARKWAY, APPROXIMATELY 270 FEET EAST OF THE SOUTH INTERSECTION OF GIBSON DRIVE.

ELEVATION = 173.65 FEET (NAVD 88 DATUM)  
ELEVATION = 171.50 FEET (NVGD 29 DATUM)

### JURISDICTION:

CITY OF ROSEVILLE

### ZONING FOR ALL PARCELS:

ZONING DESIGNATION: CCSA-NC  
GENERAL PLAN DESIGNATION: COMMERCIAL

### FLOOD PLAIN:

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X". AREAS WITHIN ZONE "X" ARE DETERMINED TO BE OUTSIDE THE 0.2 ANNUAL CHANCE FLOOD PLAIN AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 06061C0944H DATED: 11-02-2018

### GEOTECHNICAL REPORT:

REPORT BY: WALLACE-KUHL AND ASSOCIATES, INC. REPORT NO.: WKA NO. 7791.01  
DATED: SEPTEMBER 28, 2007

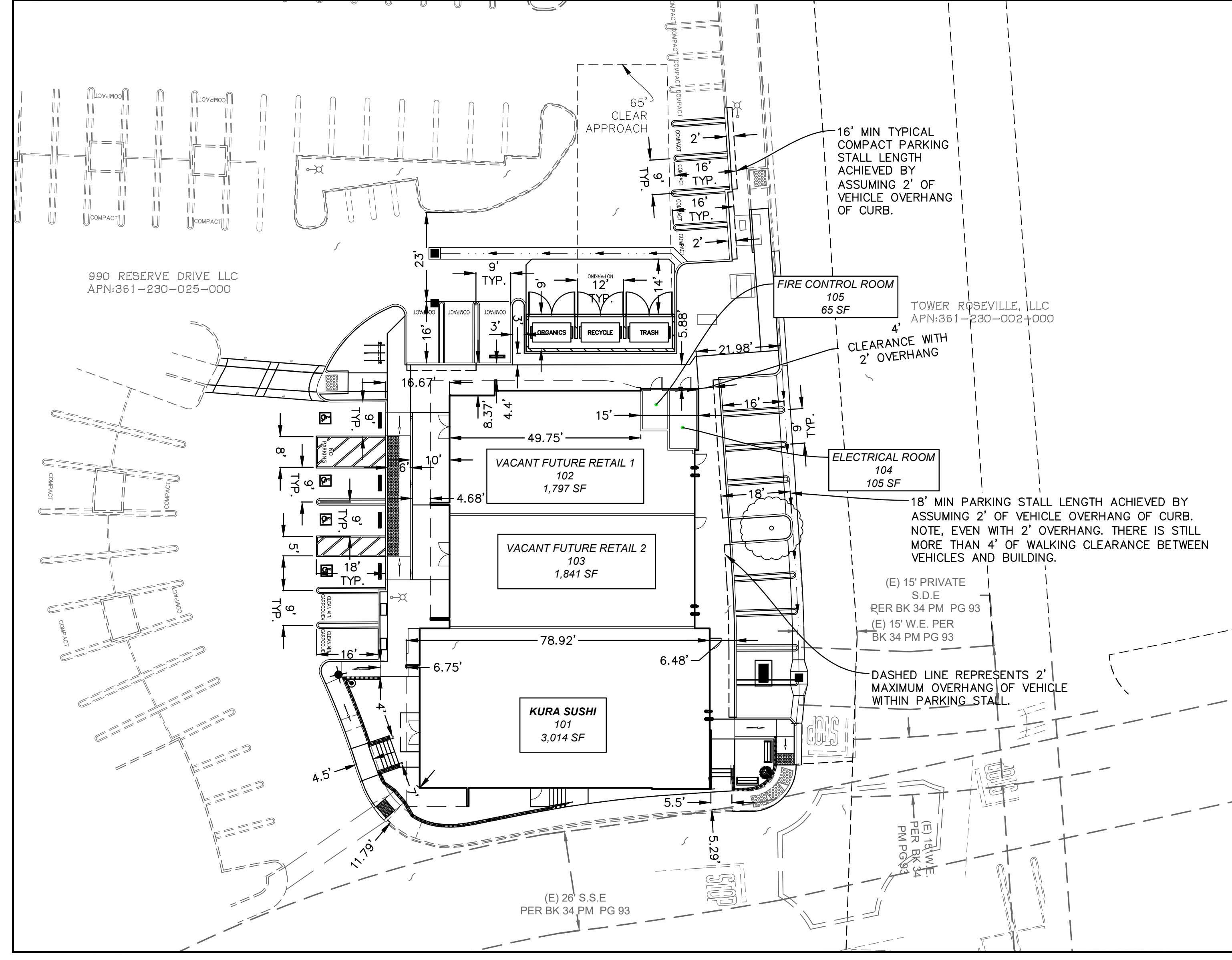
### PROPERTY OWNER / DEVELOPER:

TO HOLDINGS, LLC  
3005 DOUGLAS BLVD, SUITE 200, ROSEVILLE, CA 95661  
CONTACT: ROBB OSBORN  
PH: (916) 770-9151

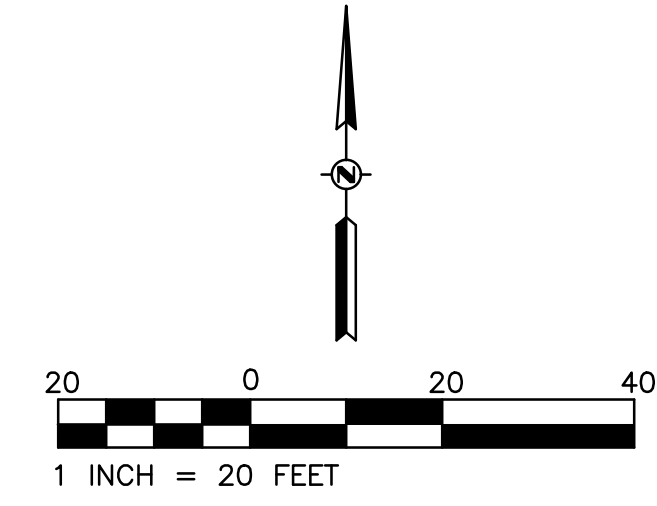
UTILITY CONTACT INFORMATION			
UTILITY	UTILITY CO.	REPRESENTATIVE	PHONE
TELEPHONE	COMCAST	ENGINEERING	(925) 424-0278
GAS	PG&E	ENGINEERING	(877) 743-7782
ELECTRIC	CITY OF ROSEVILLE ELECTRIC	ENGINEERING	(916) 746-1601
FIRE	ROSEVILLE FIRE DEPARTMENT	JASON RIZZI	(916) 774-5802
WATER & SEWER	CITY OF ROSEVILLE DEPT. OF ENVIRONMENTAL UTILITIES	ENGINEERING	(916) 774-5752
DRAINAGE	PLACER COUNTY	CANDACE BARTLETT	(530) 745-7519
U.S.A.	UNDERGROUND SERVICE ALERT		1-800-642-2444

PARKING INFORMATION		
ITEM	REQUIREMENTS	PROVIDED
BUILDING SIZE	---	6,800 SF [GROSS] 6,650 SF [NET]
PARKING REQUIRED	1 SPACE PER EACH 100 SF AREA = 67 SPACES*	67 SPACES
MINIMUM PARKING DIMENSIONS	18 FT X 9 FT STD.* 8.5' X 16' COMPACTS*	18 FT X 9 FT STD. 18 FT X 9 FT ACCESSIBLE
MIN. DRIVEWAY WIDTH	24 FT.	24 FT.
ACCESSIBLE SPACES	2 SPACES	4 SPACES
CLEAN AIR/VANPOOLEV	2 SPACES	2 SPACES

NOTE: EARTHWORK QUANTITIES ARE ESTIMATED TO SUBGRADE AND DO NOT TAKE INTO ACCOUNT SHRINKAGE, EXCESS MATERIALS FROM TRENCHING AND MISC. UNKNOWN STRUCTURAL SECTIONS. CONTRACTOR SHOULD VERIFY EARTHWORK QUANTITIES.



Know what's below.  
Call before you dig.  
or (800) 642-2444



DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	---	---
ROW	---	---
EASEMENT	---	---
LOT LINE	---	---
CENTERLINE	---	---
SW, CURB & GUTTER	---	---
DITCH / FLOWLINE	---	---
EP	---	---
STORM DRAIN	XX"SD	XX"SD
SANITARY SEWER	XX"SS	XX"SS
WATER LINE	XX"W	XX"W
DOMESTIC WATER	XX"DW	XX"DW
FIRE SERVICE	XX"FS	XX"FS
GAS LINE	XX"C	XX"C
SDMH	---	---
DRAINAGE INLET	---	---
CULVERT WITH FES	---	---
DIRECTION OF SURFACE FLOW	---	---
OVERLAND RELEASE PATH	---	---
SSMH	---	---
SSCO	---	---
FIRE HYDRANT	---	---
PIV	---	---
FDC	---	---
WATER VALVE	---	---
WATER METER	---	---
CONCENTRIC REDUCER	---	---
BACKFLOW PREVENTION ASSEMBLY	---	---
REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY	---	---
AIR RELEASE VALVE	---	---
BLOW OFF ASSEMBLY	---	---
PIPE CAP	---	---
GAS VALVE	---	---
TELEPHONE MH	---	---
UTILITY POLE	---	---
UTILITY POLE WITH LIGHT	---	---
STREET LIGHT	---	---
SITE LIGHT	---	---
JUNCTION/PULL BOX	---	---
MONUMENT WELL	---	---
BOLLARD	---	---
SIGN	---	---
FENCE	---	---
RETAINING WALL	---	---
BLOCK WALL	---	---
MAJOR CONTOUR	2s	2s
MINOR CONTOUR	---	---
GRADE BREAK LINE	GB	GB
TREE & DRIP	---	REMOVAL
CONTROL POINT	---	100.00 PK
FINISH FLOOR ELEVATION	FF: 123.00	FF: 123.00
SPOT ELEVATION (ASPHALT CONCRETE)	X 157.01 AC	13.34 AC
MATCH (E) GRADE ELEVATION	---	13.61 AC MATCH (E)
TRUNCATED DOMES	---	---
BUILDING	---	---

### NOTICE TO CONTRACTOR - ORDER OF WORK:

PRIOR TO THE START OF ANY CIVIL WORK, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES BY POT-HOLING AT ALL POINTS OF POTENTIAL CONFLICT WITH PROPOSED UTILITIES OR PROPOSED POINTS OF CONNECTION WITH EXISTING UTILITIES. IF THE ACTUAL LOCATIONS OF THE EXISTING UTILITIES FOUND IN THE FIELD ARE DIFFERENT FROM WHAT IS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT CWE IMMEDIATELY AND PROVIDE THE ACTUAL LOCATION INFORMATION. CWE WILL VERIFY IF THERE ARE ANY CONFLICTS WITH THE IMPROVEMENTS AND WILL PROVIDE MODIFICATIONS TO THE DESIGN TO MITIGATE THE CONFLICTS IF ANY CONFLICTS EXIST.

### ABBREVIATIONS:

AB AGGREGATE BASE	DIP DUCTILE IRON PIPE	GV GATE VALVE	OHT&E OVERHEAD TELEPHONE & ELECTRIC
AC ASPHALT CONCRETE	DS DOWN SPOUT	GWN GROSS VEHICLE WEIGHT	OMP OPEN METAL PIPE
ARV AIR RELEASE VALVE	(E) EXISTING	HC HANDICAP	(P) PROPOSED
BC BEGIN CURVE	EC END CURVE	HCR HANDICAP RAMP	PCC PORTLAND CEMENT CONCRETE
BCR BEGIN CURVE RETURN	ECR END CURB RETURN	HDPE HIGH DENSITY POLYETHYLENE	OR POINT OF COMPOUND CURVE
BLDG BUILDING	EP EDGE OF PAVEMENT	HP HIGH POINT	PG PROFILE GRADE
BOC BACK OF CURB	ETW EDGE OF TRAVELED WAY	IRR IRRIGATION	PIV POST INDICATOR VALVE
BOW BACK-OF-WALK	EVC END OF VERTICAL CURVE	INV INVERT	PL PROPERTY LINE
BVC BEGIN VERTICAL CURVE	FDC FIRE DEPARTMENT CONNECTION	I.E. INVERT ELEVATION	POC POINT OF CONNECTION
BW BOT/TOM OF WALL	FF FINISH FLOOR	JP JOINT POLE	PRC POINT OF REVERSE CURVE
CAB CABINET	FG FINISHED GROUND	L LENGTH	PT POINT OF TANGENCY
CONC CONCRETE	FGBW FINISHED GROUND @ BOT. OF WALL	LF LINEAL FEET	PUE PUBLIC UTILITY EASEMENT
C&G CURB & GUTTER	FGTW FINISHED GROUND @ TOP OF WALL	LIP LIP OF GUTTER	PVI POINT OF VERTICAL INTERSECTION
C&S CURB, GUTTER & SIDEWALK	FGBS FINISHED GROUND @ BOT. OF STAIRS	LP LOW POINT	RC RELATIVE COMPACTION
CH CHORD	FGTS FINISHED GROUND @ TOP OF STAIRS	LT LEFT TURN OR LEFT	RCP REINFORCED CONCRETE PIPE
C CENTERLINE	FL FIRE HYDRANT	MAX MAXIMUM	ROW RIGHT-OF-WAY
CMP CORRUGATED METAL PIPE	FL FLOW LINE	MH MAINTENANCE HOLE	RT RIGHT TURN OR RIGHT
CR CURB RETURN	FOC FACE OF CURB	MIN MINIMUM	RPPA REDUCED PRESSURE
CTV CABLE TV	FP FINISH PAVEMENT	NE NORTHEAST	RW RETAINING WALL
DCDA DOUBLE CHECK DETECTOR ASSEMBLY	FS FIRE SPRINKLER	NW NORTHWEST	S&SD SACRAMENTO AREA SEWER DISTRICT
DI DRAIN / DROP INLET	GB GRADE BREAK	OC ON CENTER	SDMH STORM DRAIN MANHOLE
	GR GRATE ELEVATION	OH OVERHEAD	

TOTAL DISTURBED AREA: 0.464 AC
LESS THAN 1 ACRE: NO SWPPP REQUIRED
<b>RAW EARTHWORK SUMMARY</b>
CUT: 224 CY
FILL: 24 CY
NET: 200 CY [EXPORT]

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

REVISION: \_\_\_\_\_

CHECK NO. \_\_\_\_\_

DESIGN: \_\_\_\_\_ DRAWN: \_\_\_\_\_ QUANT.: \_\_\_\_\_

SCALE: 1" = 10' ORIGINAL SCALE IS 1/4" = 1'

**NOT FOR CONSTRUCTION**

PROFESSIONAL ENGINEER  
No. C 92447  
CWE PRELIMINARY NOT FOR CONSTRUCTION OF CALLI

2289 Douglas Blvd., Suite 200, Roseville, CA 95661  
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**HIGHLAND VILLAGE PAD 3**  
250 GIBSON DRIVE, ROSEVILLE  
ROSEVILLE, CA 95678

**PRELIMINARY SITE PLAN**

Sheet  
**C1**  
1 of 5  
12/21/2022

CWE PROJECT R22-102 - HIGHLAND VILLAGE PAD 3 - ROSEVILLE, CA.

UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

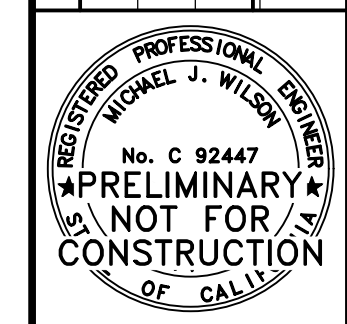
NOTICE TO CONTRACTOR - ORDER OF WORK:

PRIOR TO THE START OF ANY CIVIL WORK, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES BY POT-Holing AT ALL POINTS OF POTENTIAL CONFLICT WITH PROPOSED UTILITIES OR PROPOSED POINTS OF CONNECTION WITH EXISTING UTILITIES. IF THE ACTUAL LOCATIONS OF THE EXISTING UTILITIES FOUND IN THE FIELD ARE DIFFERENT FROM WHAT IS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT RFE ENGINEERING IMMEDIATELY AND PROVIDE THE ACTUAL LOCATION INFORMATION. RFE ENGINEERING WILL VERIFY IF THERE ARE ANY CONFLICTS WITH THE IMPROVEMENTS AND WILL PROVIDE MODIFICATIONS TO THE DESIGN TO MITIGATE THE CONFLICTS IF ANY CONFLICTS EXIST.

NOTE:

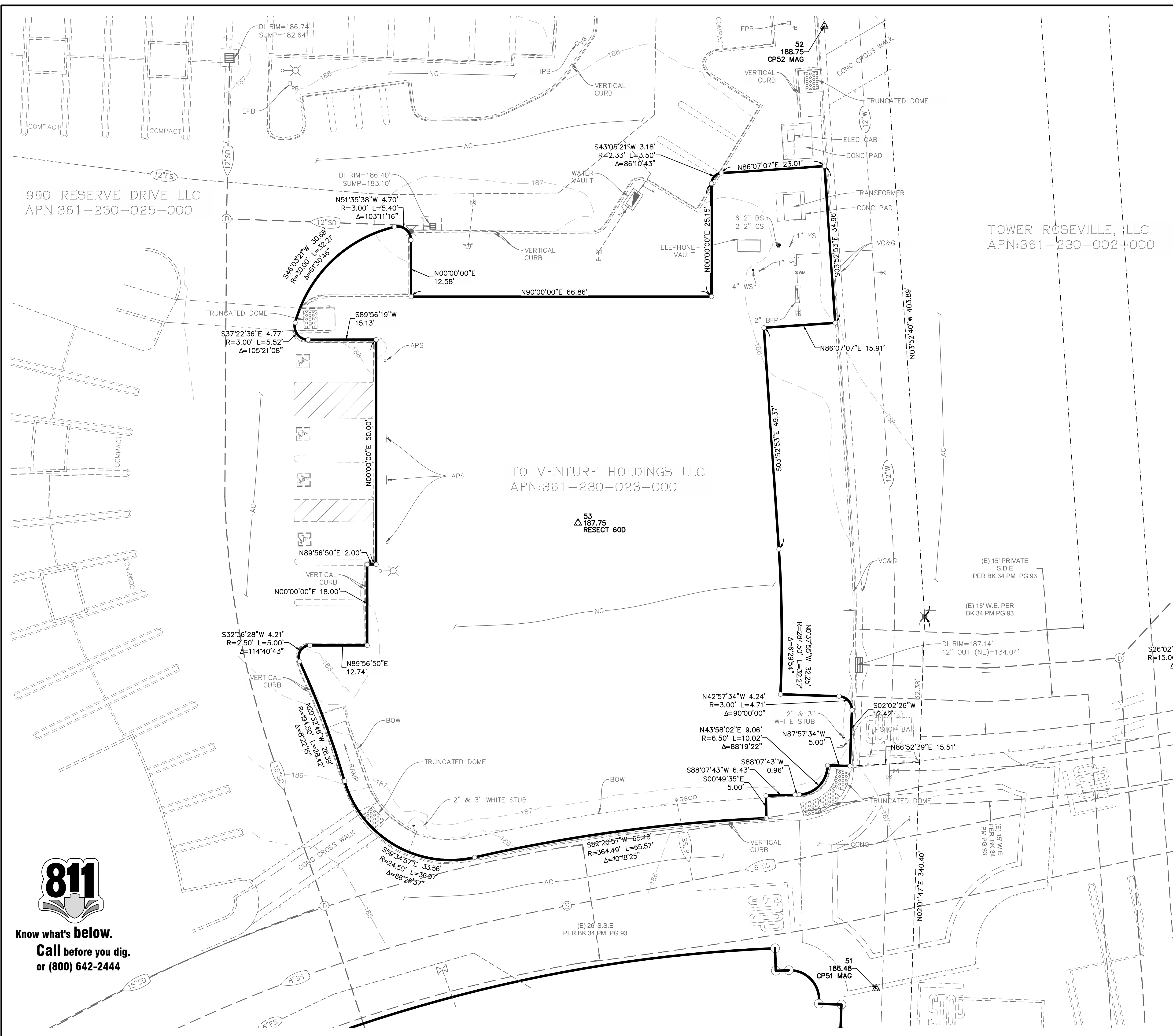
REFER TO TITLE SHEET C1 FOR NOTICE TO CONTRACTOR ABOUT VERIFYING UTILITY LOCATIONS PRIOR TO CONSTRUCTION, THE PROJECT FLOOD ZONE, BASIS OF BEARING, AND PROJECT DATUM.

APPROVED	BY	DATE	REVISION
BY	CHECK NO.	BY	DATE
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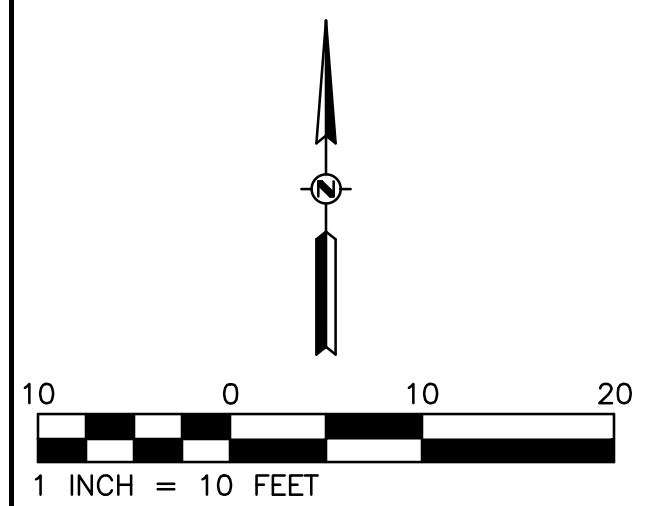


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 PH: (916) 770-9151

**HIGHLAND VILLAGE PAD 3**  
 250 GIBSON DRIVE, ROSEVILLE  
 ROSEVILLE, CA 95678  
**PRELIMINARY EXISTING  
 CONDITIONS**



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STORM DRAIN PIPE TABLE				
PIPE #	SIZE	LENGTH	MATERIAL	SLOPE
SD1	8"	9 LF	HDPE	0.32%
SD2	8"	10 LF	HDPE	1.00%
SD3	6"	11 LF	HDPE	1.00%
SD4	4"	3 LF	HDPE	1.00%
SD5	6"	17 LF	HDPE	1.00%
SD6	4"	7 LF	HDPE	1.00%
SD7	6"	36 LF	HDPE	1.00%
SD8	4"	4 LF	HDPE	1.00%
SD9	12"	13 LF	HDPE	1.50%

LEGEND:	
AC DRIVE AISLE (TI=6) 3" AC / 7" CL2 AB	SPOT ELEVATION (ABBREVIATION) 13.34 FC
AC PARKING (TI=4) 2.5" AC / 5" CL2 AB	MATCH (E) GRADE ELEVATION 13.61 AC MATCH (E)
HEAVY DUTY PCC 6" PCC / 4" CL2 AB WITH #4 X24" OC REBAR EACH WAY	INTERMEDIATE CONTOURS -25-
LIGHT DUTY PCC 6" PCC / 4" CL2 AB WITH #3 X 24 OC REBAR EACH WAY	INDEX CONTOUR
LANDSCAPING SEE PLANS BY OTHERS	STORM DRAIN PIPE XX"SD
RETAINING WALL	DRAINAGE INLET
TRUNCATED DOMES	STORM DRAIN MANHOLE
GRADE BREAK LINE	SURFACE FLOW / DRAINAGE FLOW
	OVERLAND RELEASE
	FINISHED FLOOR ELEVATION FF: 123.00

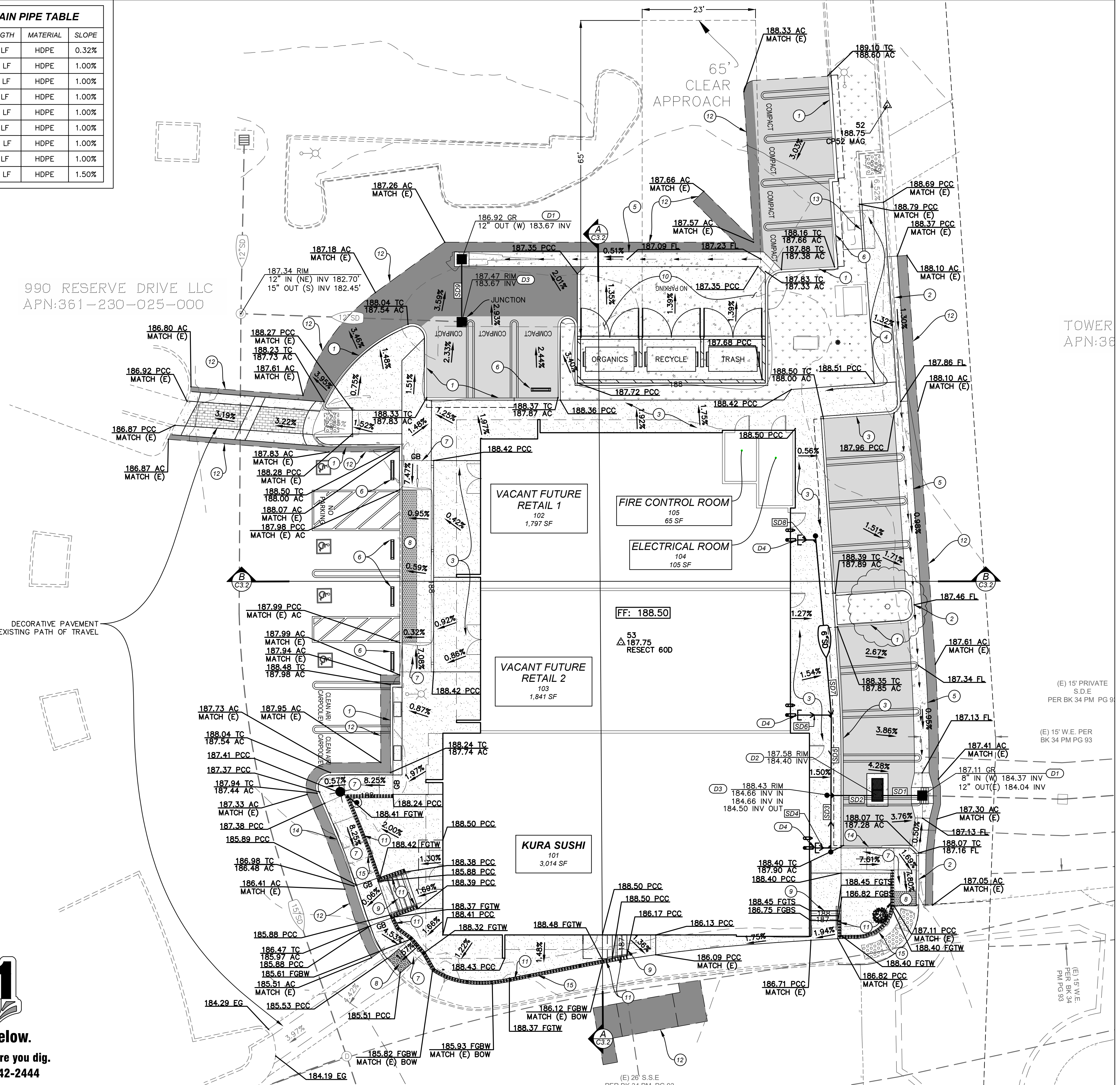
- CONSTRUCTION KEYNOTES:**
- CONSTRUCT ON-SITE CONCRETE BARRIER CURB
  - CONSTRUCT ON-SITE CONCRETE CURB & GUTTER
  - CONSTRUCT MONOLITHIC CONCRETE CURB AND SIDEWALK
  - CONSTRUCT CONCRETE WALK
  - CONSTRUCT 3' WIDE REINFORCED CONCRETE VALLEY GUTTER
  - PLACE CONCRETE WHEELSTOP
  - CONSTRUCT ACCESSIBLE RAMP
  - PLACE CAST-IN-PLACE TRUNCATED DOMES
  - CONSTRUCT EXTERIOR CONCRETE STAIRS
  - CONSTRUCT TRASH ENCLOSURE WITH CONCRETE APRON PER LATEST CITY OF ROSEVILLE STANDARD DETAIL SW-1. CONCRETE SLAB TO HAVE THICKENED EDGES. SEE ARCHITECTURAL DRAWINGS FOR MATERIAL DETAILS.
  - INSTALL HANDRAILS PER ARCHITECTURAL PLANS AND DETAILS
  - SAWCUT ASPHALT AND TIE INTO EXISTING CONFORM PER LATEST CITY OF ROSEVILLE STANDARDS AND SPECIFICATIONS
  - SAWCUT CONCRETE TELEPHONE VAULT PAD FOR PROPOSED SIDEWALK PER LATEST CITY OF ROSEVILLE STANDARDS AND SPECIFICATIONS
  - CONSTRUCT ON-SITE RAISED CONCRETE BARRIER CURB
  - CONSTRUCT ON-SITE CONCRETE RETAINING WALL

- DRAINAGE KEYNOTES:**
- INSTALL 24" NYLOPLAST DRAIN BASIN (OR APPROVED EQUAL) INVERT ELEVATIONS (I.E.) AS SHOWN PER PLAN. STRUCTURE AND GRATE FRAME SHALL WITHSTAND MIN H-20 LOADING IN VEHICULAR AREAS.
  - INSTALL PROPRIETARY CONTECH SFCB-1 18" STORMFILTER CATCH BASIN. INVERTS PER PLANS.
  - INSTALL 24" NYLOPLAST DRAIN BASIN (OR APPROVED EQUAL) WITH SOLID COVER. INVERT ELEVATIONS (I.E.) AS SHOWN PER PLAN. STRUCTURE AND GRATE FRAME SHALL WITHSTAND MIN H-20 LOADING IN VEHICULAR AREAS.
  - ROOF DOWNSPOUT TO CONNECT TO STORM DRAIN SYSTEM. SYSTEM DOWNSPOUT LOCATIONS PER ARCHITECTURAL PLANS.
- NOTE:** ALL STORM DRAIN MATERIAL TO BE SDR-35 PVC OR APPROVED EQUIVALENT.

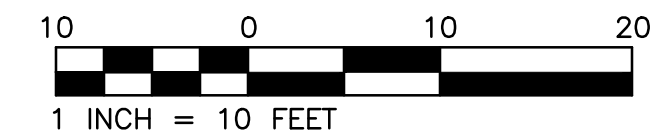
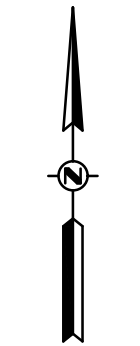
- GENERAL GRADING AND DRAINAGE NOTES:**
- ALL VALVES, MANHOLES, CLEANOUTS, DIS, PULLBOXES, ETC. WITHIN LIMITS OF CONSTRUCTION TO BE ADJUSTED TO FINISH GRADE AS NEEDED.
  - GRADING, PAVING, AND EARTHWORK SHALL BE IN ACCORDANCE WITH PROJECT GEOTECHNICAL REPORT AS LISTED ON SHEET C1.
  - VERIFY ALL UTILITY LOCATIONS, PIPE ELEVATIONS, ETC. PRIOR TO CONSTRUCTION.
  - THE ACCESSIBLE PATH OF TRAVEL SHALL SLOPE AT 5% MAX IN THE DIRECTION OF TRAVEL AND 2% MAX CROSS-SLOPE PER CBC 11B-403 (UNLESS RAMPS ARE PROPOSED). WHERE THE ACCESSIBLE ROUTE MAKES A 90 DEGREE TURN, THE INTERMEDIATE CORNER SHALL SLOPE NO MORE THAN 2% IN ANY DIRECTION. RAMPS SHALL NOT BE GREATER THAN 8.33%.
  - ALL ADA ACCESSIBLE PARKING SPACES SHALL HAVE SLOPES LESS THAN 2% IN ANY DIRECTION.
  - SITE LIGHT LOCATIONS SHOWN FOR REFERENCE ONLY. VERIFY LOCATIONS WITH SITE ELECTRICAL PLANS.

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**HIGHLAND VILLAGE PAD 3**  
250 GIBSON DRIVE, ROSEVILLE  
ROSEVILLE, CA 95678  
**PRELIMINARY GRADING,  
DRAINAGE, & PAVING PLAN**

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HIGHLAND VILLAGE PAD 3  
250 GIBSON DRIVE, ROSEVILLE  
ROSEVILLE, CA 95678  
PRELIMINARY WATER &  
SANITARY SEWER PLAN

CWE PROJECT R22-102 - HIGHLAND VILLAGE PAD 3 - ROSEVILLE, CA

LEGEND	EXISTING	PROPOSED
SANITARY SEWER	XX"SS	XX"SS
WATER	XX"W	XX"W
FIRE SERVICE	XX"FS	XX"FS
STORM DRAIN	XX"SD	XX"SD
SSMH	○	○
SSCO	○	○
FIRE HYDRANT	○	○
PIV	○	○
FDC	○	○
WATER VALVE	○	○
WATER METER	○	○
REDUCED PRESSURE BACKFLOW PREVENTER	RP	RP
STREET LIGHT	○	○
FITTINGS	○	○

### SANITARY SEWER CONSTRUCTION KEYNOTES:

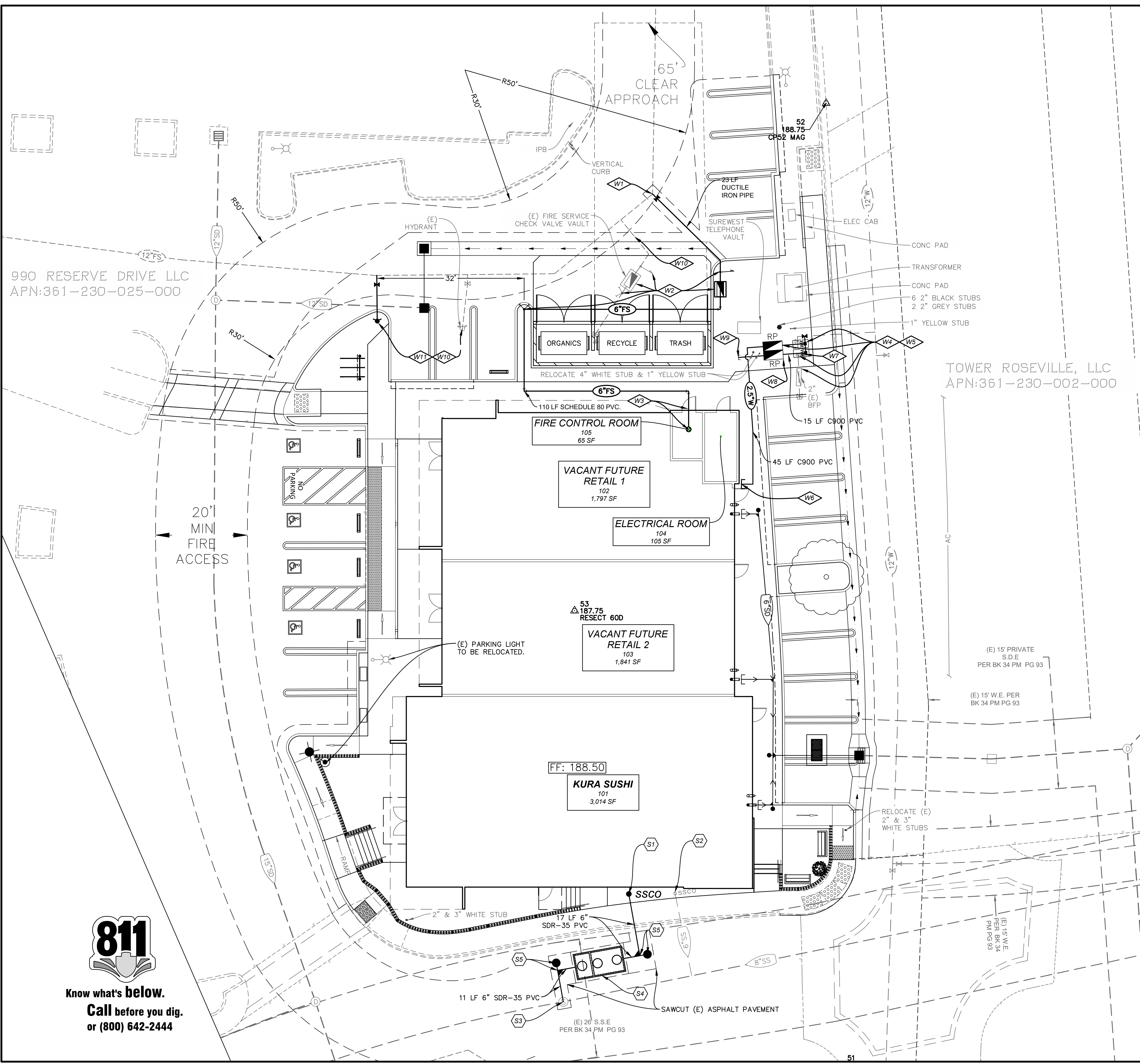
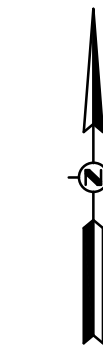
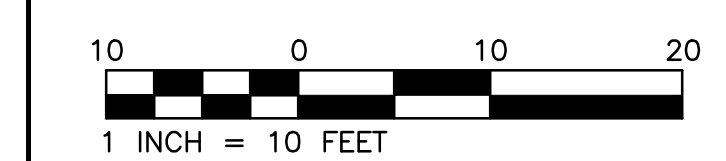
- S1 GREASE INTERCEPTOR POINT OF CONNECTION TO BUILDING. INSTALL TWO-WAY CLEANOUT TO GRADE PER LATEST CPC. CONTRACTOR TO VERIFY LOCATION WITH PLUMBING PLANS.
- S2 (E) SANITARY SEWER POINT OF CONNECTION TO BUILDING. CONTRACTOR TO VERIFY LOCATION WITH PLUMBING PLANS.
- S3 CONNECT (P) 6" COMMERCIAL SEWER LATERAL TO (E) SEWER MANHOLE PER PLAN. VERIFY SIZE, LOCATION, AND INVERT OF PROPOSED PIPE CONNECTION PRIOR TO CONSTRUCTION. IF DIFFERENT FROM WHAT IS SHOWN ON PLANS, CONTACT ENGINEER. MINIMUM SLOPE TO THE BUILDING TO BE 2.0% MIN.
- S4 INSTALL JENSEN PRECAST 1,900 GALLON GREASE INTERCEPTOR MODEL JP1500ECE-G FOR NEW SANITARY SEWER LINE PER CITY OF ROSEVILLE STANDARD DETAIL SS-6. TRENCHING AND BACKFILL SHALL BE IN ACCORDANCE WITH CITY OF ROSEVILLE STANDARD DETAIL SS-1.
- S5 INSTALL COMBINATION WYE & 1/2 BEND WITH OFFSET CLEANOUT TO GRADE PER LATEST CPC.

### WATER CONSTRUCTION KEYNOTES:

- W1 INSTALL 12"x12"x6" REDUCING TEE.
  - W2 RELOCATE EXISTING CHECK VALVE ASSEMBLY VAULT, PIV, AND FIRE DEPARTMENT CONNECTION PER CITY OF ROSEVILLE STANDARDS. REFERENCE CITY DETAIL W-2.
  - W3 6" FIRE SERVICE POINT OF CONNECTION TO BUILDING. SEE FIRE SPRINKLER PLANS BY OTHERS FOR CONTINUATION.
  - W4 RELOCATE (E) 2" COMMERCIAL WATER SERVICE AND METER PER CITY OF ROSEVILLE STANDARDS. REFERENCE CITY DETAIL W-7.
  - W5 RELOCATE (E) 2" REDUCED PRESSURE BACKFLOW PREVENTER STUB PER CITY OF ROSEVILLE STANDARDS. REFERENCE CITY DETAIL W-7.
  - W6 2" DOMESTIC WATER POINT OF CONNECTION TO BUILDING. CONTRACTOR TO VERIFY LOCATION WITH PLUMBING PLANS.
  - W7 INSTALL 1" COMMERCIAL IRRIGATION WATER SERVICE PER CITY OF ROSEVILLE STANDARDS. REFERENCE CITY DETAIL W-6.
  - W8 INSTALL 1" IRRIGATION REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ROSEVILLE STANDARDS. REFERENCE CITY DETAIL W-6.
  - W9 1" IRRIGATION POINT OF CONNECTION. CONTRACTOR TO VERIFY LOCATION WITH PLUMBING PLANS.
  - W10 RELOCATE 6" FIRE HYDRANT ASSEMBLY PER CITY OF ROSEVILLE STANDARDS. REFERENCE CITY DETAIL W-13.
  - W11 ABANDON (E) FIRE SERVICE WHEN RELOCATING FIRE SERVICE CONNECTION PER CITY STANDARDS. TRENCHING AND BACKFILL SHALL BE IN ACCORDANCE WITH CITY OF ROSEVILLE STANDARD DETAIL W-1.
- WATER NOTES:  
 1.) WATER PIPE SIZES 4" - 12" SHALL BE C-900 PVC.  
 2.) WATER PIPE SIZES <4" SHALL BE SCHEDULE 80 PVC.

### UTILITY GENERAL NOTES:

1. CONTRACTOR TO VERIFY LOCATIONS OF UTILITY POINTS OF CONNECTION AT BUILDING WITH THE BUILDING PLANS PRIOR TO CONSTRUCTION.
2. ALL SEWER MATERIALS AND INSTALLATION OF PUBLIC SEWER FACILITIES SHALL BE IN ACCORDANCE WITH CITY OF ROSEVILLE CONSTRUCTION STANDARDS SECTION 91.
3. THE CONTRACTOR SHALL POTHOLE AND VERIFY THE DEPTH OF ALL EXISTING UTILITIES PRIOR TO THE INSTALLATION OF PROPOSED UTILITIES. ANY UNANTICIPATED CONFLICTS SHALL BE REDESIGNED PRIOR TO BEGINNING WORK.
4. ALL TRENCHING FOR WATER AND SEWER UTILITIES SHALL COMPLY WITH CITY OF ROSEVILLE TRENCH RESTORATION STANDARDS PER CITY OF ROSEVILLE CONSTRUCTION STANDARDS SECTIONS 81 AND 91.
5. WATERLINES TO BE INSTALLED WITH 36" MIN. COVER.
6. ALL SEWER MAINS SHALL BE CONSTRUCTED WITH SDR-35 PVC PIPE.
7. SITE LIGHT LOCATIONS SHOWN FOR REFERENCE ONLY. VERIFY LOCATIONS WITH SITE ELECTRICAL PLANS.
8. WATERLINES TO CROSS ABOVE SANITARY SEWER OR STORM DRAIN PIPES WITH MIN. 12" CLEAR FROM OUTER DIAMETER OF PIPE.
9. ALL WATER MATERIALS AND INSTALLATION OF PUBLIC WATER FACILITIES SHALL BE IN ACCORDANCE WITH CITY OF ROSEVILLE CONSTRUCTION STANDARDS SECTION 81.



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